

**TECHNICAL REVIEW COMMITTEE
PRELIMINARY COMMENTS AND/OR RECOMMENDED CONDITIONS**

Note: Village Planning staff is responsible for coordinating the Technical Review of Special Use Rezoning Requests; please contact the appropriate Department at the phone # indicated below if you have any questions about the comments or recommendations listed. Further, please note that additional information may be forthcoming from Departments that indicate “See Emailed Comments” or another similar phrase. A list of recommended conditions from this Technical Review Committee will be sent to you via fax generally by the end of the business day on Friday the week prior to the Planning Board Public Hearing.

PROJECT CASE #: C-238 **PARCEL PIN:** 5892-68-2241, 5892-67-9635, 5892-68-5524

PROJECT TITLE/DESCRIPTION: Cloud’s Harbor Landing ± 39.7 acres with 88± single-family dwelling units

UDO: RS-09

NCDOT District 2: Sr. Assistant District Engineer, Randy Ogburn (336-747-7900) rogburn@ncdot.gov

- Although we cannot require offsite improvements, we do strongly recommend that left and right turn lanes be added on Hampton Road for Arden Drive, since the AADT was 10,500 in 2019. If turn lanes are required by the Village of Clemmons, encroachment agreements would have to be submitted to NCDOT for any work or utility ties occurring within the right of way.

Winston-Salem/Forsyth County Inspections (Zoning), Elizabeth Colyer (336-727-2626) elizabethrc@cityofws.org

- N/A

Winston-Salem (Erosion Control/Floodplain Program Manager) Matthew Osborne (336-747-7453) matthewo@cityofws.org

- If the proposed project creates more than 10,000 sq. feet of land disturbance, an Erosion Control/Grading Permit will be required prior to the start of work. In order to obtain this, permit you must submit a professionally designed Erosion and Sedimentation Control Plan along with an original signed/notarized Financial Responsibility/Ownership (FRO) form for review and approval. Please submit the plan through the electronic plan review portal at the following link: <https://winston-salem.idtplans.com/secure/>

Clemmons Public Works/Stormwater, Michael Gunnell (336-766-9170) mgunnell@clemmons.org

- See attached PDF for feedback

Clemmons Fire Jerry Brooks (336-766-4114)

- No Comment

Forsyth County Fire Scott Routh (336-703-2550) routhcs@forsyth.cc

- Haywood Street is over 150' in length and needs an approved turn around.
- Minimum fire flow is 1000 GPM for homes 3600 square feet or less. Homes between 4801 and 6200 require 2000 GPM. The plan indicates 5000 square feet so how much is actual the size of the home. Need to provide data indicating this.

Winston-Salem/Forsyth County Utilities, Chris Jones (336-747-7499) charlesj@cityofws.org

- Submit water/sewer extension plans to utilities plan review for permitting/approval. From the proposed plan, it looks like some existing sewer will be rerouted. The old lines and easements must be properly abandoned by the CCUC and the WS City Council. Water meters purchased through COWS. Be aware of system development fees due at the time of meter purchase. Where the proposed sewer is not 10' from the proposed R/W, an exclusive public sanitary sewer easement will be required. No storm water ponds are to be constructed on existing sewer easements. There is no Timber Street on GIS. No record of public water or sewer there either. Please clarify.

Clemmons Planning, Nasser Rahimzadeh (336-766-7511) nasser@clemmons.org

- Some parcels lot widths are not 65' at the front lot line. Make sure that they are where the building envelope starts.
- Lot # 50 does not comply with RS-9 minimum lot area per B.2-1.2(H)
- Table B.3.8 requires 2 spaces per dwelling unit. Please satisfy requirement
- Cloud Harbor Trail & Jordan Lane stub streets shall comply with D.4-B(1)(f) ...All subdivisions shall dedicate right-of-way and construct stub streets to any adjoining properties to facilitate traffic circulation within the context of the overall transportation network. All stub streets shall meet the design and construction criteria required by each governmental jurisdiction and shall be constructed to the property line or bonded before final plats are approved for the sections of the subdivision where said streets are located. All stub streets shall be designed, constructed, and placed in locations which will permit the future extension of these streets.
- Cloud Harbor Trail & Jordan Lane stub streets shall comply with D.4-B(1)(h) temporary "T" turnaround dimensions...In cases where streets are built to adjoining property lines and are to be extended in the future, the board may grant a temporary T-shaped turnaround having a paved roadway area of not less than forty (40) feet in width and forty-eight (48) feet in length perpendicular to the main roadway with curve radii of not less than ten (10) feet. Said temporary T-shaped turnaround shall have a right-of-way of not less than fifty (50) feet as an extension of the main roadway with the paved roadway area centered in the right-of-way. There shall be a ten (10) foot by sixty (60) foot temporary construction and maintenance easement at the end and on both sides of the temporary T-shaped turnaround. Said easements shall be removed when the street is extended and the temporary T-shaped turnaround removed.
- Lots 5, 13, 21, 33, 56, 68, 75, & 88 shall comply with sight distance easements per D.4-B(1)(n) ...All new subdivisions will have triangular sight distance easements shown in dashed lines at all street intersections...These easements will remain free of all structures, trees, shrubbery, driveways, and signs, except utility poles, fire hydrants, and traffic control signs. Sight easements shall be ten (10) feet by seventy (70) feet running from the intersection along the right-of-way of the pertinent street.
- Subdivision shall comply with D.4-B(1)(o) ...All new public streets shall include a ten (10) foot utility easement on both sides of the

street reserved for the installation and maintenance of water, sewer, power, telephone, gas, cable, or any other public utility, unless adequate right-of-way is available for utilities.

- Lots 5, 13, 21, 33, 56, 68, 75, & 88 shall comply with negative access easements per D.4-B(2)(b) and D.4-B(2)(c).
- Note D.4-B(3)(c) for the final plat and preliminary regarding stormwater...(c) Drainage. (i)The preliminary subdivision plat should consider any areas with special drainage requirements. Drainage easements shall be shown on the final plat. (ii)If a stormwater retention or detention system is required by local or State ordinance, the preliminary location of the devices to be used in the system shall be shown on the preliminary subdivision plat.
- Confirm that utilities shall be underground per D.4-B(3)(d)
- Unable to identify land to be dedicated per D.4-B(4). If developer is using payment of fees in lieu of land dedication per D.4-B(4)(b), please submit a letter indicating fee in lieu per D.4-B(4)(c)(i)
- Jackson Drive and Jordan Lane shall comply with D.4-B(6) ... For subdivisions with fifty (50) percent or more of the lots one acre or smaller in size five (5) foot minimum sidewalks, five inches in thickness shall be required along one side of all residential streets. Sidewalks shall conform to ADA requirements and the Village of Clemmons installation and maintenance requirements.
- Note that final plat shall show locations of subdivision sign easement per D.4-B(10)(c) ... Any markers, signs, or monuments with the name of the subdivision shall be issued a sign permit from the Inspections Division prior to installation. All such signs shall be located outside public rights-of-way, outside sight easements, and at major entrances to the subdivision. If such markers are contemplated in the subdivision, the final plat shall show the locations of these easements.
- Per D.4-B(10)(f) any areas delineated as wetland by the US Army Corp of Engineers shall be identified on the preliminary subdivision plat. National wetlands inventory map indicates the intermittent stream as R5UBH. Please confirm with Army Corp/NCDEQ and note in revised preliminary subdivision plat
- Note compliance with D.4-B(10)(h) regarding tree preservation planning areas

General comments: Please use Durham's ordinance on [cluster box units \(CBU\)](#) as a guide for mail kiosk. Planning staff recommends two CBUs one to be located at the entrance of the development on either side of the open space and second to be in the open space around Haywood Street/Clouds Harbor Trail northbound. Indicate pedestrian crosswalk and flow where applicable.

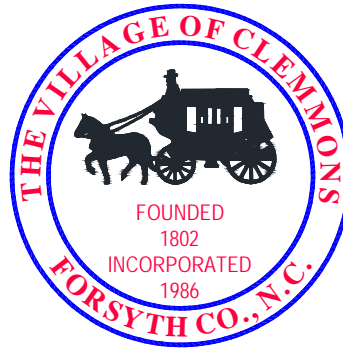
Clemmons Planning, Jeff Vaughn (336-766-7511) jvaughn@clemmons.org

- Clearly show sidewalks on Jordan Ln and Jackson Dr.
- Show and label setbacks of existing house and pool house
- **Mail Kiosk?**
- Remove Haywood St. from Clouds Harbor Trail
- Under Purpose Statement add Rezoning to RS-9
- **Use Village of Clemmons Tree Save Legend**
- Show a 25' access easement to sanitary sewer line behind lots 47-38
- **Show 10' X 70' sight easements at all intersections**
- **Include street connectivity index on the plan**
- **Provide turn around at the end of Cloud's Harbor**
- **Provide payment in lieu info for open space per Chapter D.4(B)(4)**

- Clean up slopes on access easement to the Parker property
- Joshua Dr will require approval of a staff change/site plan amendment by Old Mill
- Label Arden Dr. as public
- Label width of A/E to existing house.

Forsyth County Addressing, Matthew Hamby (336-703-2337) hambyme@forsyth.cc

- Joshua Drive, Jackson Drive, Jordan Lane, and Haywood Street are not approved to be used as street names. Please send new name request to hambyme@forsyth.cc for review.



PUBLIC WORKS

12/9/2020

Subject: Clouds Harbor Landing Subdivision TRC Comments

Below are the TRC comments provided by the Public Works, Engineering, and Stormwater Department:

1. Stormwater Permit and fees are required.
2. Add Note to Watershed Notes "The stormwater SCM/BMP for this subdivision has been designed for a specific impervious and drainage area. Any alterations to this subdivision must be approved and permitted by Village of Clemmons staff prior to any alterations occurring. Failure to obtain a Village of Clemmons permit will result in the issuance of penalties to the maximum extent possible."
3. Add a Note that this site is located within 303(d) impaired waters of the state watershed and shall be subject to all watershed regulations set forth by the Village of Clemmons and the NC Department of Environmental Quality.
4. Show site distance triangles at the intersections.
5. Is there a typo on sewer labels? Shows an existing 6" sewer main, if so, need to confirm with CoWS utility department if tie in is acceptable.
6. Show a negative access easement at the following locations:
 - a. East side of lots 5, 56, and 75.
 - b. West side of lots 13 and 88.
 - c. South side of lots 21 and 33.
 - d. North side of lot 68.
7. Show all crosswalk locations and a schematic of the crosswalk pattern.
8. Show mail kiosk locations. Handicap accessibility will be required.
9. Stop and street signs are required at street intersections. Add a note that signs are to be purchased by the developer and delivered to Village of Clemmons staff for installation.

10. Show all private drainage easements.
11. Add a note to your typical lot layout that all drainage inlets outside of the right of way must be drop/throat inlets with a 4" (min) throat depth and a 4" slab top lid.
12. Add a note that all utilities shall be encased underneath of road crossings per CoWS standards. All new utilities shall be jack and bored underneath of existing roads.
13. All utilities shall cross the roadway in the shortest distance possible. No manholes, or other structures may be placed in the roadways or sidewalks, except for storm inlets on the curb lines.
14. Show sidewalk along Jackson Drive and Jordan Lane.
15. Remove Haywood street note from Clouds Harbor Trail.
16. Both SCM's will need a point of access for equipment/vehicles to get down to the basin, as well as a littoral shelf. Be sure to leave plenty of room. Show an easement to the SCM below Joshua Drive from the public right of way.
17. How do you intend to get water from the backs of the lots 60-41 into the basin?
18. Project must be phased in a manner that the first phase only installs 29 lots and access to the Parker property. Once the second connection to an existing public right of way is finalized, the final portion of the subdivision may commence.
19. Show turnarounds at dead ends of the streets per Village ordinances and Fire Department Requirements.
20. Add a note to the typical lot layout that the minimum distance between the garage door and the closest edge of sidewalk must be 20'.
21. All water and sanitary sewer lines must be a minimum of 3' from the back of curb.
22. The permanent SCM access and maintenance easement must be recorded at the Forsyth County Register of Deeds prior to the issuance of the grading permit.
23. The site shall be subject to Fire Department requirements based on the number of usable access points.
24. Extend the ingress/egress easement across the Jean Parker tract located behind lot 55.
25. All proposed roads shall meet the minimum design requirements as specified in the NCDOT Subdivision Roads Minimum Construction Standards based on the Design Speed and Terrain Classification.

26. For Stub Streets, signage shall be placed that meets the MUTCD standard indicating the road ends ahead, no outlet, and reflective indicators at the street end.
27. Required turn around areas shall not be used as a residential driveway and shall have “No Parking Signs” installed by the Developer.
28. The developer shall petition for the entire portion of the existing right-of-way not used for the proposed Clouds Harbor Trail Road realignment to be abandoned.

Please do not hesitate to call if you have any questions or need any assistance with the submittal.

Sincerely,

Wes Kimbrell, PE
Stormwater Engineer
The Village of Clemmons