

New Development:		Additions to Existing Development:	
Total Site Size (In Square Feet): 3.44		Total Limits of Land Disturbance (In Square Feet):	
Total Site Area Excluded From TSA:		Total Limits of Land Disturbance (In Square Feet):	
Sq. Ft. Proposed R.O.W.s		+ Sq. Ft. Existing Utility Easements 5,865	
		+ Sq. Ft. Existing Water Bodies and Stormwater Ponds = 5,865	
Individual Trees Method Used:			
Yes	No	Tree Stand Method Used:	New Trees Used for TSA Credit:
		X Yes No	
Number of Trees 6" - 9"		List the Area of Each Tree Stand Being Saved:	Number of Large Variety Trees Planted:
DBH: x 500 sf =			x 750 sf =
Number of Trees 9.01" - 12"		Describe Each Tree Stand (Age, Health, Species Mix):	
DBH: x 750 sf =		DENSE MATURE MIXED HARDWOODS WITH PINE	
Number of Trees 12.01" - 24"			
DBH: x 1,800 sf =			
Number of Trees 24.01" - 36"			
DBH: x 3,000 sf =			
Number of Trees Larger than 36.01"			
DBH: x 4,000 sf =			
Total Square Footage of Individual Trees Used to Satisfy Minimum TSA:		Total Square Footage of Tree Stands Being Saved to Satisfy Minimum TSA: 37,333	
Total Square Footage of New Trees Planted to Satisfy Minimum TSA:			
Total Required TSA (In Square Feet): 12,958		Total TSA Provided (In Square Feet): 37,333	

REVIEW INFORMATION:

TYPE OF REVIEW:
 SPECIAL USE REZONING
 SITE PLAN AMENDMENT
 SPECIAL USE PERMIT (ELECTED BODY ONLY)
 FINAL DEVELOPMENT PLAN
 PRELIMINARY SUBDIVISION
 PLANNING BOARD REVIEW

JURISDICTION
 VILLAGE OF CLEMMONS

PURPOSE STATEMENT: THE PURPOSE OF THIS REQUEST IS TO REZONE A PORTION OF THE PROPERTY FROM RS-15 TO HB-S

ZONING

EXISTING ZONING: HB-S & RS-15
 PROPOSED ZONING: HB-S
 PROPOSED USES: INDOOR STORAGE

BUFFERYARDS

ADJOINING ZONING: RS-15
 TYPE REQUIRED: 15' TYPE IV
 WIDTH PROVIDED: 40 FT

SITE SIZE AND COVERAGES

TOTAL ACREAGE: 3.44 ACRES
 SITE COVERAGES:
 BUILDING TO LAND 18.5 %
 PAVEMENT TO LAND 21.8 %
 OPEN SPACE 61.7 %

BUILDING SQUARE FOOTAGE: 24,650 SF
 BUILDING HEIGHT: 41-30 FT

PROPERTY INFORMATION

PIN # 5893-25-0242.00
 TAX BLOCK(S)
 LOT(S) LOT 1, P.B. 36 PAGE 36
 D.B. 3015 PG. 736

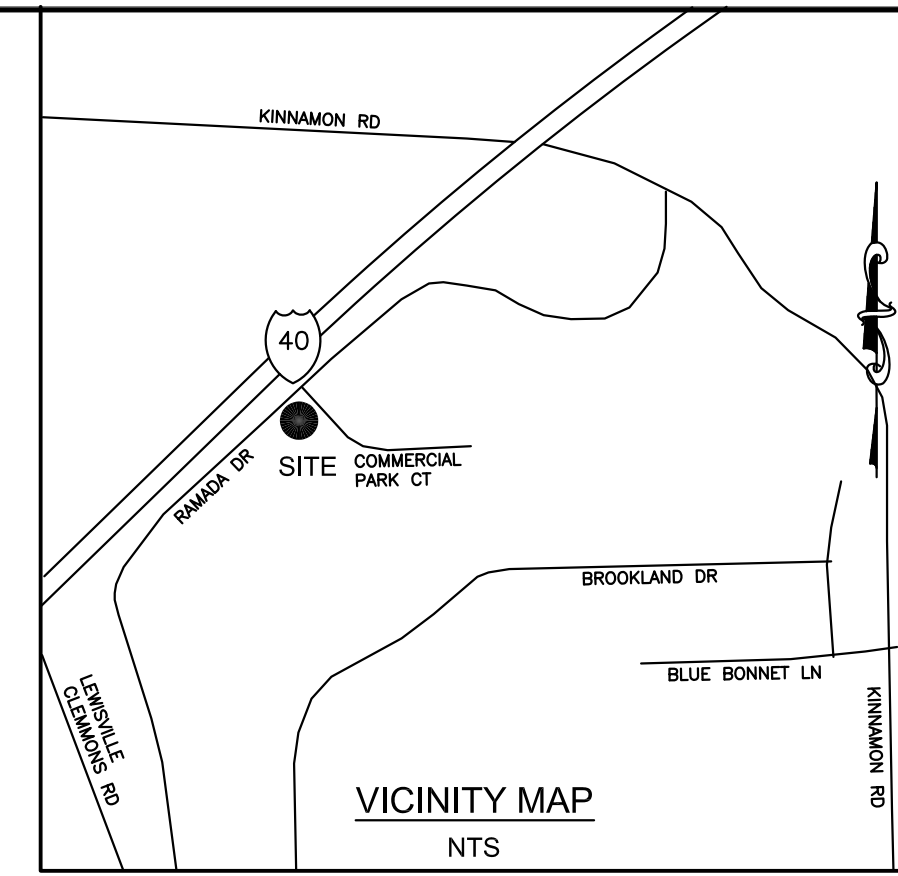
OFF-STREET PARKING (IF APPLICABLE)

PROPOSED USE(S): INDOOR MINI STORAGE
 REQUIRED PARKING: 5 SPACES
 (MORE THAN ONE CALCULATION MAY BE NEEDED)
 PARKING PROVIDED: 8

INFRASTRUCTURE

	PUBLIC	PRIVATE
WATER	X	
SEWER	X	
STREETS	N/A	

LINEAR FEET OF PUBLIC STREETS: _____ FT.

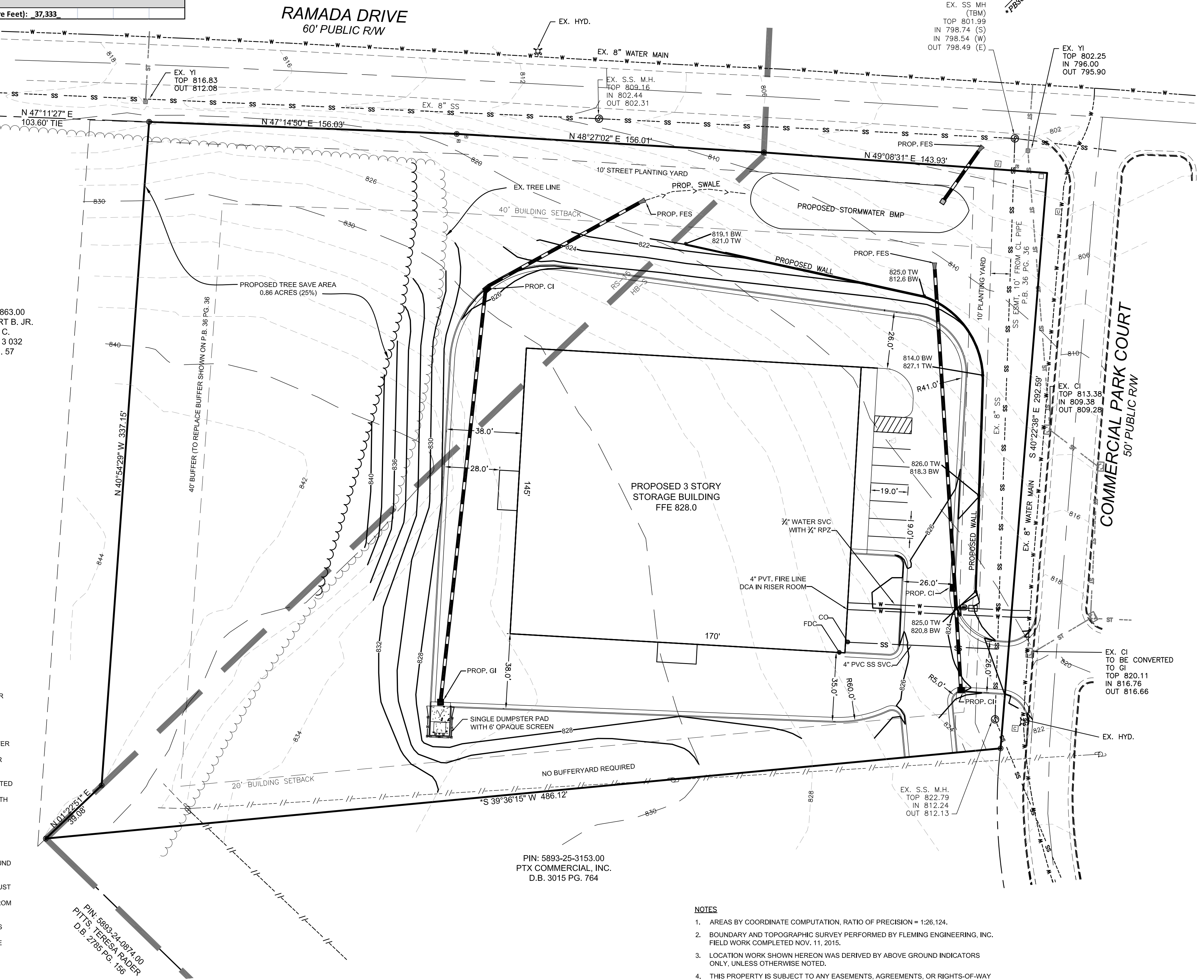


Fleming Engineering, Inc.
 CONSULTING ENGINEERS & LAND SURVEYORS
 8518 Triad Drive, Co. Rd. 2725
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 www.FlemingEngineering.com

TYPE IV BUFFERYARD DESIGN OPTIONS

MINIMUM BUFFERYARD WIDTH	MINIMUM PLANT MATERIAL PER ONE HUNDRED (100) LINEAR FEET
15 FEET	2 DECIDUOUS TREES; 18 PRIMARY EVERGREEN PLANTS; 20 SUPPLEMENTAL EVERGREEN SHRUBS
30 FEET	2 DECIDUOUS TREES; 18 PRIMARY EVERGREEN PLANTS; 10 SUPPLEMENTAL EVERGREEN SHRUBS
40 FEET	3 DECIDUOUS TREES; 18 PRIMARY EVERGREEN PLANTS
50 FEET	3 DECIDUOUS TREES; 14 PRIMARY EVERGREEN PLANTS
100 FEET	3 DECIDUOUS TREES; 10 PRIMARY EVERGREEN PLANTS
200 FEET	3 DECIDUOUS TREES; 5 PRIMARY EVERGREEN PLANTS

PIN: 5893-14-6863.00
 BARBER, ROBERT B. JR. & EVELYN C.
 D.B. 2550 PG. 3 032
 D.B. 437 PG. 57



PIN: 5893-25-3153.00
 PTX COMMERCIAL, INC.
 D.B. 3015 PG. 764

- NOTES**
- AREAS BY COORDINATE COMPUTATION, RATIO OF PRECISION = 1:26,124.
 - BOUNDARY AND TOPOGRAPHIC SURVEY PERFORMED BY FLEMING ENGINEERING, INC. FIELD WORK COMPLETED NOV. 11, 2015.
 - LOCATION WORK SHOWN HEREON WAS DERIVED BY ABOVE GROUND INDICATORS ONLY, UNLESS OTHERWISE NOTED.
 - THIS PROPERTY IS SUBJECT TO ANY EASEMENTS, AGREEMENTS, OR RIGHTS-OF-WAY OF RECORD PRIOR TO THIS DATE AND NOT VISIBLE AT THE TIME OF INSPECTION.
 - NO NCGS MONUMENT FOUND WITHIN 2,000 FEET.
 - THIS PROPERTY IS SUBJECT TO ANY EASEMENTS, AGREEMENTS, OR RIGHTS-OF-WAY OF RECORD PRIOR TO THE DATE OF THIS MAP AND WHICH WERE NOT VISIBLE AT THE TIME OF INSPECTION.
 - CONTRACTOR IS TO VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
 - ALL CONSTRUCTION IS TO BE TO VILLAGE OF CLEMMONS AND NCDENR STANDARDS & SPECIFICATIONS.

SITE DATA

PTX COMMERCIAL, INC.
 4700 COMMERCIAL PARK COURT
 CLEMMONS, NC 27012
 PIN 5893-25-0242.00
 D.B. 3015 PG. 736
 LOT 1, P.B. 36 PG. 36
 EXISTING ZONING: HB-S & RS-15
 TOTAL AREA: 3.44 ACRES
 IMPERVIOUS AREA PROPOSED: 1.3 ACRES (38%)
 PROPOSED USE: INDOOR MINI STORAGE

WATERSHED DATA

NOT IN A DESIGNATED WATER SUPPLY WATERSHED
 YADKIN-PEE DEE RIVER BASIN

HB-S ZONING REQUIREMENTS

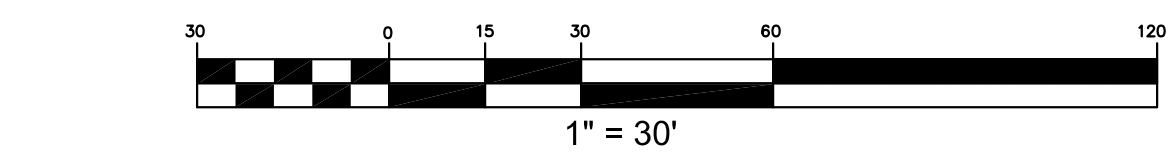
MIN. LOT AREA: 20,000 SF
 MIN. LOT WIDTH: 100'
 FRONT SETBACK: 40'
 STREET SETBACK: 20'
 REAR SETBACK: 20'
 INTERIOR/SIDE SETBACK: 0.5/12
 MAX. BLDG. HEIGHT: 60
 MAX. IMPERVIOUS SURFACE: 85%

PARKING REQUIREMENTS:

REQUIRED: 5 SPACES + 1/125 UNITS IN EXCESS OF 500 PROVIDED: 8

- STREETYARD REQUIREMENTS:**
- ALL NEW OR EXPANDED MVSA'S LOCATED WITHIN 100' OF A STREET OR VEHICULAR RIGHT-OF-WAY MUST INSTALL A STREETYARD. THE STANDARDS ARE AS FOLLOWS:
 - MINIMUM WIDTH OF 10' (SEE B.3-4.3 FOR ALLOWED REDUCTIONS/DEVIATIONS).
 - TWO (2) LARGE VARIETY TREES (8" TALL, 2" CALIPER MEASURED 6" ABOVE GROUND AT TIME OF PLANTING) PER 100 LINEAR FEET (ABSOLUTE MINIMUM OF 1 TREE, REGARDLESS OF LENGTH).
 - LARGE VARIETY TREES MUST BE CENTERED WITH SPACING OF 20' TO 75' APART.
 - ONE OF THE FOLLOWING SHALL BE USED TO SATISFY THE LOW-LEVEL SCREEN REQUIREMENTS OF THE STREETYARD:
 - NATURAL SHRUBS (SEE B.3-4.10(D) FOR LIST), 18" MINIMUM HEIGHT AT PLANTING (MINIMUM HEIGHT OF 36" AFTER 3 YEARS), SPACED 18" TIP-TO-TIP. MAXIMUM OF 30% MAY BE DECIDUOUS; OR
 - FENCE OR WALL 36" IN HEIGHT OR GREATER; WALL SHALL BE CONSTRUCTED OF MASONRY, STONE, WOOD OR THE SAME MATERIAL AS THE PRINCIPAL BUILDING; OR
 - WALL PLANTERS WITH A COMBINED HEIGHT OF 24" FOR THE WALL AND PLANTINGS AT CONSTRUCTION (36" AFTER 3 YEARS). THE MINIMUM WIDTH OF THE WALL PLANTER SHALL BE 36" (7" WHEN TREES ARE ALSO LOCATED IN THE PLANTER); OR
 - EARTHEN BERM WITH A MINIMUM HEIGHT OF 18", A MINIMUM CROWN OF TWO (2) FEET AND A SIDE SLOPE/WIDTH RATIO OF 2:1. THE BERM SHALL BE PLANTED WITH SHRUBS MEASURING 12" AT PLANTING, SPACED 18" TIP-TO-TIP. THE COMBINED BERM AND PLANTING HEIGHT MUST BE 36" AFTER 3 YEARS.

- INTERIOR MVSA PLANTING REQUIREMENTS:**
- ALL NEW OR EXPANDED MVSA'S SHALL INSTALL TREE PLANTINGS AS FOLLOWS:
 - EACH PLANTING AREA MUST CONTAIN A LARGE VARIETY TREE 8" TALL, 2" CALIPER MEASURED 6" ABOVE GROUND AT TIME OF PLANTING UNLESS EXEMPTED UNDER THE PROVISIONS OF UDO SECTION B.3-4.2(J).
 - ONE (1) LARGE VARIETY TREE MUST BE PLANTED FOR EACH 5,000 SQUARE FEET OF MVSA, WHERE LARGE VARIETY TREES ARE EXEMPTED UNDER UDO SECTION B.3-4.2(J). ONE (1) SMALL OR MEDIUM VARIETY TREE MUST BE PLANTED FOR EACH 2,500 SQUARE FEET OF MVSA.
 - NO PARKING SPACE SHALL BE LOCATED MORE THAN 75' FROM A LARGE VARIETY TREE (NO MORE THAN 50' FROM A SMALL OR MEDIUM VARIETY TREE WHERE LARGE VARIETY TREES ARE EXEMPTED UNDER UDO SECTION B.3-4.2(J)).
 - EACH LARGE VARIETY TREE MUST HAVE A 600 SQUARE FOOT PLANTING AREA WITH A MINIMUM CLEAR RADIUS OF 7' FROM THE TREE CENTER TO THE EDGE OF CURB/PAVEMENT. EACH SMALL OR MEDIUM VARIETY TREE MUST HAVE A 150 SQUARE FOOT AREA WITH A MINIMUM CLEAR RADIUS OF 7' FROM THE TREE CENTER TO THE EDGE OF CURB/PAVEMENT.

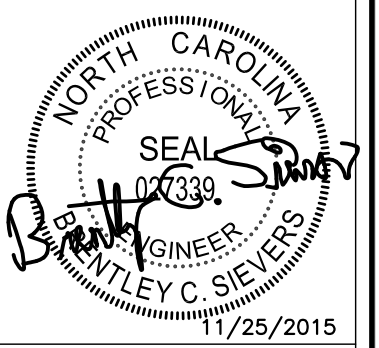


BEE SAFE STORAGE
PRELIMINARY SITE PLAN

PROJECT LOCATION:
 CITY: CLEMMONS
 COUNTY: FORESTHURST
 STATE: NORTH CAROLINA

NO.	DATE	REVISION NOTE
1		
2		
3		
4		
5		

DRAWN BY: TLM
 CHECKED BY: BCS
 DATE: 11/25/2015
 PROJECT NO.: 310.03
 REF. NO.:
 SCALE: 1:30



SHEET
1 of 1

